

STATE OF SOUTH CAROLINA)
)
COUNTY OF BEAUFORT)

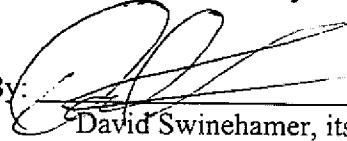
AFFIDAVIT TO RECORD

IN RE: Bluffton Park Community Association, Inc.

The attached documents are being recorded to comply with the South Carolina Homeowners Association Act, Title 27, Chapter 30, Section 110, et. seq., South Carolina Code of Laws (1976), as amended.

- Architectural Design Board Guidelines (approved 1/8/24)

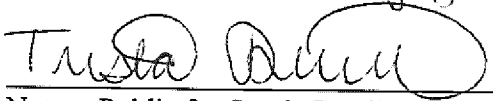
Bluffton Park Community Association, Inc.

By: 

David Swinehamer, its President

SWORN TO BEFORE ME

On this 19 day of January, 2023⁴.



Notary Public for South Carolina
My Commission Expires:

Trista DiNovo
NOTARY PUBLIC
State of South Carolina
My Commission Expires 5/5/2025

Bluffton Park

Design Guidelines

(Approved January 2024)

The Architectural Design Board (ADB), who is appointed by the Board of Directors of the Bluffton Park HOA is responsible for approving all new construction, modifications, additions and major landscaping in The Bluffton Park Community.

To achieve its objectives as well as ensure a pleasant building experience for the homeowner, the ADB has set forth these Design Guidelines. It is important to note that there is no specific architectural style in Bluffton Park. These Design Guidelines are intended to provide a framework for the construction of a home and the landscaping around the home. These Design Guidelines are not developed to predetermine a set style of architecture.

The ADB will administer these Design Guidelines to help preserve the natural beauty of Bluffton Park while protecting the property investments made by its members.

Each project submitted to the ADB will be reviewed toward:

- Ensuring that any development, structure or landscaping complies with the Bluffton Park Covenants as delineated in the Design Guidelines.
- Ensuring that the plans for landscaping provide proper drainage of surface water, visually pleasing settings for structures on the lot, and blend harmoniously with the adjacent landscaping.

The present Design Guidelines have been approved by the Bluffton Park Board of Directors, but may from time to time be amended. Prior decisions or rules regarding design will not be deemed to have set a precedent, if the ADB feels, in its sole discretion that the repetition of such actions will have any adverse effects on the community.

The purpose of Design Guidelines and Restrictions and Rules is not to anticipate all acceptable or unacceptable conditions in advance and eliminate all improvements or activities, which fall outside of "the norm." In fact, it is expressly intended that the ADB and the Board have discretion to approve or disapprove items, or to enforce or not enforce technical violations of the Governing Documents, based upon aesthetic or other considerations consistent with the established Design Guidelines. As such, while something may be approved or permitted for one Unit under one set of circumstances, the same thing may be disapproved for another Unit under a different set of circumstances. The exercise of discretion in approving or enforcement shall not be construed as a waiver of approval or enforcement rights, nor shall it estop the ADB or Board from taking enforcement action in any appropriate circumstances. This includes discretion to expedite approval for emergency work upon notice to the ADB.

The ADB recommends that you obtain professional design assistance in planning your new home. It is important that both you and your professional read and understand these Design Guidelines. It is the responsibility of the Property Owner and the Architect or Designer to ensure that all plans, documents, and submittals prepared by the architect or designer are in accordance with these Design Guidelines, satisfy the building codes and all other governing codes, rules and restrictions. A Final Design Approval letter from the ADB will not be issued until all design documents have been completed and approved, including color boards and landscape plans and until all appropriate fees and deposits have been paid.

The ADB recommends that approved projects be started within ninety (90) days after final approval of plans, however, all projects must commence within six (6) months of the final approval date. Any projects not commencing within six (6) months must be resubmitted for approval under the applicable sections of the current guidelines and to verify there have been no changes since final approval was granted. Further, any changes to plans after final approval must be re-submitted for approval before work is begun. Once begun, new construction projects must be completed within Twelve (12) months. Exceptions may be granted by the ADB contingent on the receipt of a written request for an extension with a justification acceptable to the ADB prior to the expiration of the time limit.

THE REVIEW PROCESS

A. ADB Meetings

The ADB meets regularly on the 2nd and 4th Tuesday of the month. Other meetings may be called from time to time when necessary.

B. Review Procedure

Drawings and specifications for any proposed work in Bluffton Park must be submitted to the ADB administrator by noon at least one week prior to the next ADB meeting in order to be considered for review at that meeting. All submittals and re-submittals must include an application stating what the submittal is for and the appropriate review fee.

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Article I. Bluffton Park Design Guidelines

Section 1.01 Residential Landscape Guidelines

(a) Residential Streets & Lanes

(i) Streets

Streets are an important part of the civic infrastructure of Bluffton Park. Their realm extends for the length and breadth of the street's right-of-way. The concept of "livable streets" is key to the design of streets in Bluffton Park. These streets are not only facilities for moving motor vehicles, but are public spaces for all ecosystems, contributing to the overall neighborhood feel of the community. Narrow cross-sections, on-street parking, and full accommodation of enhanced facilities for pedestrians and bicycles give these streets livability that often does not exist within conventional suburban development. Vehicles move slower and motorists are continually made aware of the mixture of traffic (vehicular, bus, pedestrian, and bicycle) that coexists on streets in Bluffton Park. The street's right-of-way includes the street paving that both conveys vehicular and bicycle traffic and provides on-street parking, and the right-of-way includes the zone between the pavement/curb and right-of-way/adjacent property line that contains street trees and sidewalks. Community utilities also utilize the right-of-way.

Street landscape requirements that affect the zone between the pavement and right-of-way/adjacent property line include:

(ii) Tree Lawns & Street Trees

Tree lawns are the strip of grass or groundcover plantings adjacent to the street curb and between the curb and the sidewalk. This area will be a minimum of 2'-6" wide with wider widths preferred (8'-0" is optimal).

Street trees will be durable, proven species of overstory shade trees, either non-deciduous or deciduous, that are relatively clean of branch and fruit/nut droppings and with low potential for long term root damage to curbs and walks. While no tree is perfect in these regards, some trees are known to be better street trees than others. These better street trees (i.e. live oaks, laurel oaks and willow oaks) should be utilized at Bluffton Park. Palmettos may be used as street trees on narrow streets or to emphasize a public place, such as a park. Standard overstory trees will be the dominant street trees in Bluffton Park.

A single species of overstory tree will be used on both sides of a given street and that species will continue to be utilized until there is a major change in street direction at an intersection or until the street comes to a major intersection. There may be breaks in the placement of street trees to provide an opening to emphasize the view to an important item.

The spacing for street trees will be consistent throughout the predominately residential portions of Bluffton Park. Street trees will be placed approximately forty-five feet (45') to fifty feet (50') on-center. Allowances will be made for driveways, view corridors at street intersections and utilities.

Street trees will be a minimum of 2 1/2" DBH (diameter breast height) and 12' — 14' in height at planting. (Note that in order to accomplish 2 1/2" DBH, trees may have to be ordered larger when measured by ANA, American Nursery Association standards)

Overstory street trees may be supplemented with understory flowering trees, however overstory trees will be the dominant trees in the street.

Street tree root barriers may be employed along the edge of the curb or sidewalk to control tree roots and reduce curb and walk displacement. The Street trees will be maintained by the HOA and they will have at their base either Pine Straw, Mulch or stone as accents. The HOA will provide Pine Straw applications yearly as part of your regime fees.

(iii) Sidewalks

On streets that are primarily residential in nature, sidewalks will be constructed of brushed finish concrete with saw-cut joints at one and one-half times the walk width. The minimum walk width will be 4'-0" with wider sidewalks adjacent to parks and where buildings are immediately adjacent sidewalks, such as townhouse streets.

Street intersections and other sidewalk curb crossings will incorporate barrier-free ramp designs that meet or exceed applicable codes.

(iv) Between the Sidewalk and the Right-of-Way/Property Line

The area between sidewalks and the street right-of-way/property line is technically in the street right-of way and subject to Home Owner Association (HOA) or public ownership. However, this area will be maintained by the adjacent property owner, and may be incorporated into the landscape plantings of that adjacent property owner. Landscaping will be limited to plantings (grass, groundcover, shrubs, hedges) and irrigation, and will not include trees or any "hardscape" (walls, fences, etc.) with the exception of residential walkway connections to the public sidewalks.

(v) Public Utilities

The street right-of-way will be utilized for both "wet" (sewer and water) and "dry" (Electrical service, telephone, CATV, gas) utilities. The location of these utilities will be coordinated with other street improvements (Street paving, street trees and sidewalks).

These utilities should be located by the property owner, or property owner's contractor, before any post development construction in the street right-of-way. The property owner or contractor will be responsible for any damage to these utilities.

(vi) Lanes

Lanes are provided to service portions of Bluffton Park. These lanes eliminate the need for street front vehicular access by providing access from the rear to garages or parking pads. Some utilities and services, such as trash collection and mailboxes, are accomplished within lanes; additionally, they provide important secondary access for emergency vehicles.

Lanes do not include the equivalent of street trees. Landscaping on adjacent lots should be designed to avoid obstructing free passage on lanes and to avoid obstructing views from garages or parking pads to lanes.

(b) Private Residential Lots

(i) Street Side

Landscaping on the street side of residential lot should be designed to serve as a transition between the "public realm" of the street side and the "private realm" of the porch and the house. The following guidelines apply to street action landscape elements:

1. Walkways between the porch/house will connect to the public sidewalk in the street right-of-way. This connection will be a maximum of 5'-0" wide, with 3'-0" to 4'-0" preferred. Walks may be made of any material that complements the design of the house.
2. The use of low foundation plantings, formal accents on either side of the walkway at the porch or front door, small flowering trees, small lawns, and a sense of yard enclosure with hedges or fences are all encouraged. However, landscaping on the street side of residences should not screen out the view to the porch and house from the street. Rather, the porch and house facade are key elements in defining the sense of community that is important to Bluffton Park.
3. The use of irrigation is allowed. Irrigation should be designed to be efficient in the use of water and to avoid spraying onto adjacent public sidewalks or onto neighboring lots. Common irrigation systems are allowed in attached residential areas (duplexes/triplexes, townhouses).
4. In most cases, there will be a utility easement (generally for electrical service, telephone, CATV) on residential lots adjacent to the street right-of-way. This easement will be dictated on the lot plat. Any landscaping within this easement is subject to removal by the utility company for repair or maintenance, without replacement or compensation to the property owner. Further, the property owner, or property owner's contractor before any construction in this easement should locate these utilities. The property owner, or contractor will be responsible for any damage to these utilities,

(ii) Lane Side

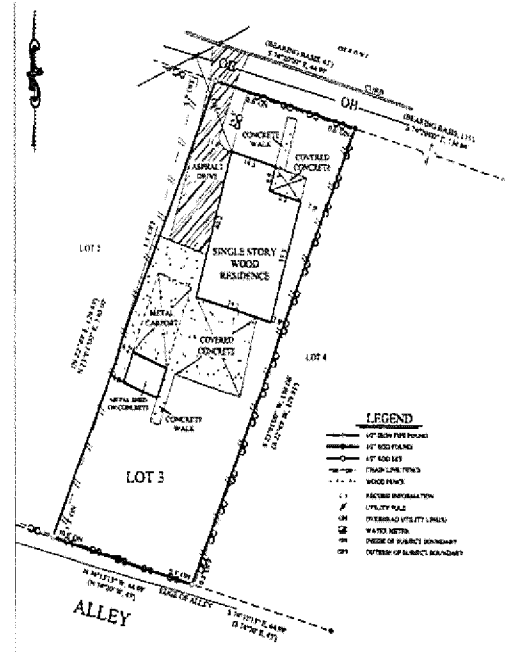
The lane side of residential lots is within the "private realm" and as such, less restrictive than the street side. The only restrictions are those recorded in the Community Covenants and Restrictions, have a negative impact on neighbors and the limitation on impacts to safe access to the utilities as described in Section 1.01 (a) Residential Streets and Lanes, above.

Like the street side, in most cases there will be a utility easement (generally for electrical service, telephone, CATV) on residential lots adjacent to the live right-of-way. This easement will be indicated on the lot plat. Any landscaping within this easement is subject to removal by the utility company for utility repair or maintenance, without replacement or compensation to the property owner. Further, the property owner or property owner's contractor before any construction in this easement should locate these utilities. The property owner, or contractor will be responsible for any damage to these utilities.

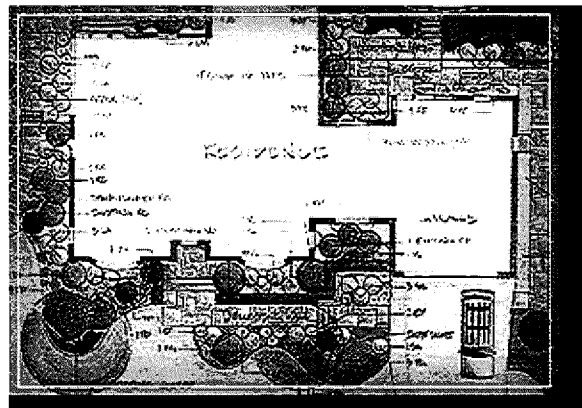
ARTICLE II. New Structures/Alterations to Existing Structures

Prior to altering an existing structure, which changes the exterior surface of the home or lot, (including the paint color) plans and specifications must be submitted and approved to include:

- a. A site plan with topographical information and a clearing plan, which shows the location of all proposed and existing structures on the lot (including any out buildings and building setbacks, open space, driveways, walkways, parking spaces and drainage plans).
- b. A foundation plan.
- c. A floor plan.
- d. Exterior elevations of all proposed structures and alterations to existing structures.
- e. Specifications of materials, color scheme and other details affecting the exterior proposed structures and alterations to existing scheme.
- f. Lighting appearance of all structures; and plans for landscaping, lighting and grading, including but limited to the handling of drainage.
- g. Any applicable permits



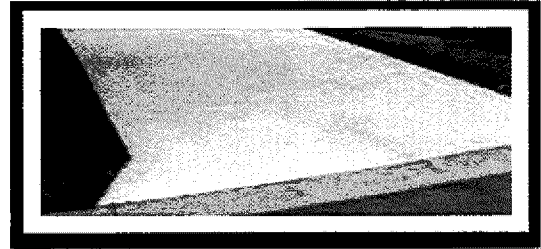
NOTE: No new project is permitted to be started, erected, placed, moved onto or permitted on a lot without permission by the Architectural Design Board. If a new project is started without approval, you are subject to a \$150 fine that will be added to the homeowner account.



Each submission should be directed to the Management Office for approval by the Architectural Design Board (ADB). An application fee and deposit will be charged at the time of submission. After final inspection by the ADB, the deposit will be returned to the homeowner.

Section 2.01 New Structures Guidelines

- (a) **Driveways**
 Driveways must be constructed of light-colored concrete. Pavers will be considered in some cases. Asphalt paved driveways are not allowed.



- (b) **Screened Porches, Enclosures, or Atriums**
 Screened or enclosed porches must be approved by the ADB to be constructed adjacent to any visible elevation of the home or garage.
- 1st Floor Front Porches-** First story front porches will not be permitted to be fully enclosed. If a first-floor screened porch is being proposed at least 51% of the porch must remain open. The front door of the dwelling must also remain open/unobstructed to create a sense of community. Any architectural elements (railings or columns) must be on the outside of the screening and it must match architecturally to the rest of the home. Based on these requirements, some 1st story front porches in the neighborhood will not be able to be enclosed.
- 2nd Floor Front Porches -** 2nd Story front porches may be fully enclosed however the architectural elements must be exposed (Screen behind the columns & railings) and screening must match.
- Rear Structure Enclosures-** Any screened or 'Carolina Room' style enclosures should only be on the rear or non-visible elevation or side of a home or garage. For any rear structure rooms, they must be identical to the home in terms of architectural style, color, and materials. The screening of existing porches must be approved by the ADB as well as any changes to the existing porches.



- (c) **Wells**
 No Private wells of any type are permitted to be installed or maintained on a home property, regardless of the purpose or consumable nature of the water.
- (d) **Service Areas**

Heating ventilation and air-conditioning equipment, and other service related equipment must be visually screened when visible from a public vantage through the use of either fencing or landscaping. Fencing must be of a color and detail that is compatible with the overall design of the home. When located on a roof, mechanical equipment must not be visible from any public vantage and must be screened with materials that are compatible with the building itself.

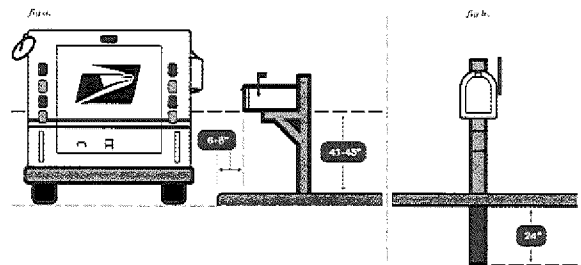
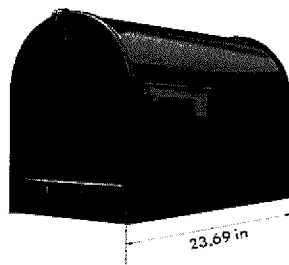
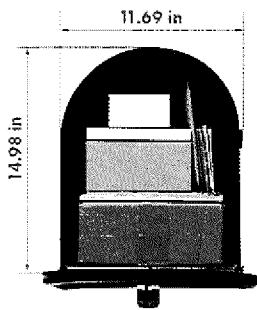
(e) Exterior Lighting



Lighting should enhance the aesthetics and safety of outdoor spaces. Down lights under covered porches, or sconces mounted to the building wall, are strongly recommended. Any exterior or security lighting must be installed so that neighboring properties and street traffic are unaffected by any potential glare and the direct source of light must not be visible beyond the home site property. All proposed fixture or equipment designs and locations for installation must be appropriate to the style and proportion of the home or structure for which it is proposed. Trim Lighting is permitted in the front of the structure only. Illumination for safety on walkways & driveways may be low intensity indirect lights with a maximum fixture height of 32".

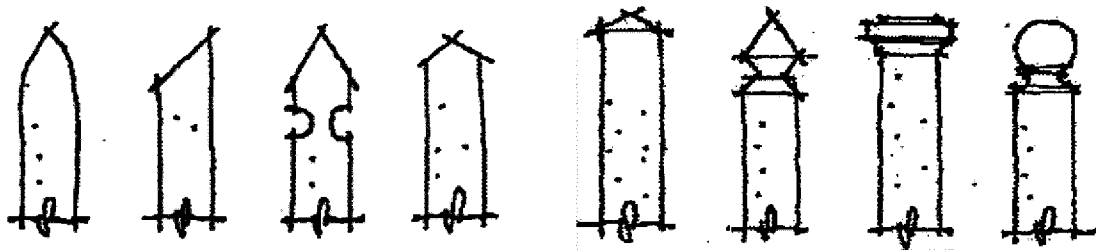
(f) Mailboxes

Mailboxes shall be installed over standard wooden mailbox posts. Bracketed designs using 4x4 members are preferred. All wooden elements must be painted black. Mailboxes must be of metal construction according to US Post approved design RURAL or XL design. Plastic mailboxes and posts are not allowable. Position your mailbox 41" to 45" from the road surface to the bottom of the mailbox or point of mail entry. Place your mailbox 6" to 8" back from the curb. Put your house or apartment number on the mailbox on the front of the box. (Pictures from USPS.COM)



(g) Residential Fences & Structured Walls

Fences and walls can allow the viewer to see in while establishing territory, contribute to street front continuity, or provide privacy in side or rear yards. All proposed fence or structured wall installations must be submitted for review and approval by the ADB. Fencing enclosures or structured walls must be 6" (6 inches) minimum in from the edge of the property line it is installed upon. In the instance of the agreement of two homeowners of adjoining/adjacent properties, consideration will be given to allowing installation of fencing directly on the mutual property line. Note: the homeowner(s) will be required to provide a site plan that clearly delineates the locations of the proposed installation, and a field site visit by the ADB will be required as part of the review and consideration process. Also, your lot will need to have a professional survey team stake your lot.

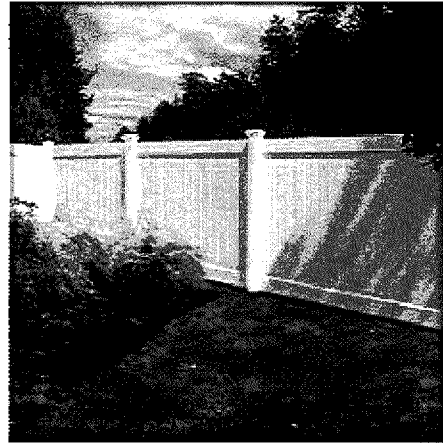
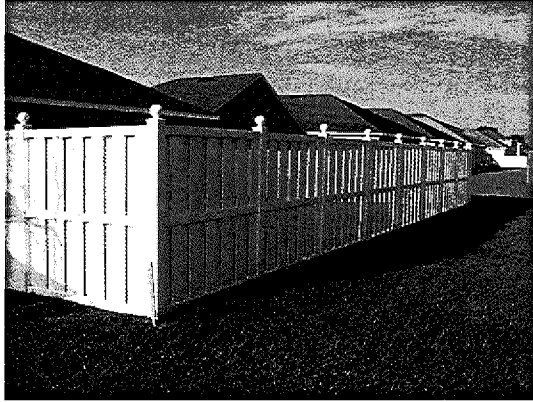


(1) Front Yard Fencing

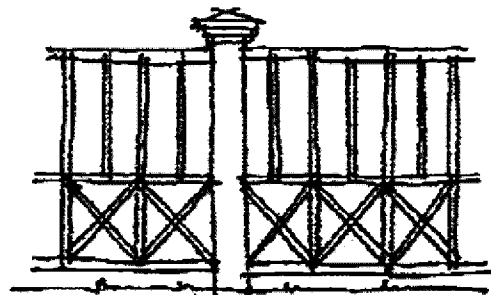
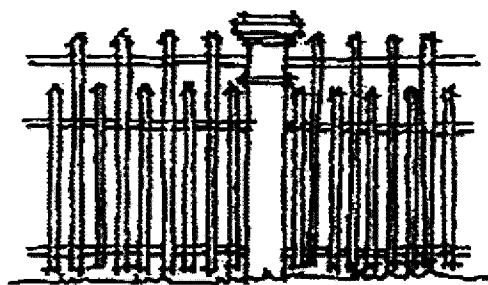
- New construction front yard fences must be constructed of brick piers or white iron infill panels or white vinyl construction.
- In all cases front yard fences must remain visually permeable, and no higher than 42" in height.
- It is not allowable to have exposed treated wood visible from primary public vantages.



(2) Back or Rear Yard Fencing



- New Construction of rear yard garden walls or fences must be constructed of brick piers with white iron infill panels or of white vinyl construction.
- Rear yard garden walls must not extend beyond the front facade on interior lots bounded by other lots, and not beyond the beginning of the corner-aide façade on corner lots.
- Rear yard garden walls or fences may be visually solid and shall be between 36" and 72" in height.
- All existing wooden elements in rear yard fences must be painted white and in good repair.



(h) Antennas and Satellite Dishes

No antenna, satellite dish, or other device for the transmission or reception of television or radio (including amateur or ham radios) signals is permitted outside the dwelling on a Unit, except those devices whose installation and use is protected under federal law or regulations (generally, certain antennae or satellite dishes under one meter in diameter). Notwithstanding such protection, an application for such an antenna or other device must be submitted to the Reviewer for approval and approval will be granted only if:

(1) We recommend first, the antenna or other device is designed for minimal visual intrusion (i.e., is located in a manner that minimizes visibility from the street or an adjacent Unit and is consistent with the Community-Wide Standard); and

(2) Second, the antenna or other device complies to the maximum extent feasible with the Design Guidelines within the confines of applicable Federal Regulations (i.e., without precluding reception of a quality signal or unreasonably increasing the cost of the antenna or device).

(3) Visual impacts of a proposed satellite dish must be minimized. Using smaller satellite dishes in a non-reflective finish, and mounting them low to the ground is recommended. A satellite dish must be located away from the front yard, front facade, or highly visible roof planes.

The Reviewer shall consider any such application on an expedited basis.

Notwithstanding the above, Declarant, the Community Council, and/or the Association may erect an antenna, satellite dish, or other apparatus for a master antenna, cable, or other communication system for the benefit of all or a portion of the Residential Properties, should any master system or systems be used by the Association and require such exterior apparatus

(i) Solar

For any new solar installation, it is preferable to be installed on rear elevations

(j) Siding & Roof Replacements

1. It is recommended that all replacement installations match their current colors on currently installed on the home

2. If other materials are to be considered the look and feel must compliment other homes in the neighborhood maintaining the feel of the community.

3. Consistent siding and roofing materials are required for all secondary structures, such as garages, garage apartments, and sheds, ensuring a cohesive and complementary appearance.

4. When replacing any roof, it is imperative to utilize an Architectural Shingle that aligns with the existing color. If the roof being replaced is a shared structure with another owner, it is essential for both parties to coordinate and ensure the color and shingle match. It is strongly advised to schedule the replacement simultaneously to maintain uniformity.

5. Metal Roofs will be considered so that it complements the community.

(k) Pool

1. Any pool installation in order to be considered a 6 ft white vinyl privacy must be installed.

Article III. Homeowner Application Process

Section 3.01 Application for Review (Refer to Management's Website for Application Form):

This application process applies to the following:

- Replacement or refurbishment (e.g., paint, repair, etc.) of an existing front porch railing, columns, and/or stairs.
- Roof replacement or refinishing.
- Window replacement.
- Concrete walkway or driveway replacement.
- Vinyl siding replacement.
- Installation of a fence, enclosure or structured wall
- Construction of a deck, porch or patio, including Carolina rooms
- Construction of a garage or any type of vehicular storage structure
- Exterior color changes including paint, siding, trims, roofing, etc.
- Exterior building material changes
- Exterior lighting changes
- Playground equipment
- Landscaping structures or structural materials including pavers, walls, arbors, trellises, statues, statuary, etc.
- Landscaping changes that remove or modify existing areas which are grass or planted bed areas, trees or other plants over twelve feet in height above ground level
- Exterior paint changes to doors, shutters, porch ceilings and porch decks.

Applications for the following will not be considered:

- Propane or any other type of fuel tank or storage container
- Digging or installation of any type of well
- Changes to mailbox location or design.
- Any project which will infringe on required minimum setback from adjacent properties

Section 3.02 Guidelines for Work During Project:

- Hours of construction: Any construction which occurs outside, either in part (e.g. sawing, cutting, excavating, etc.) or in whole, may only occur during the hours of 7AM-7PM, Monday through Saturday. All outside construction activity is banned on Sundays and national holidays. Construction workers and their vehicles should not arrive more than 15 minutes prior to the start of work, or remain 15 minutes past when work is required to cease.
- Noise: inappropriate language, volume of voices, music, etc. Must be controlled to avoid impact to neighbors.
- Silt fencing (lake, street or sidewalk) – must be in place prior to commencement of construction. Fencing must have a bottom curl with dirt or other weighted cover so that silt and debris do not run under the fence. Sidewalks and streets must be kept free from mud, silt and debris at all times.
- Location and limits on timing for dumpster placement exist. Dumpsters will only be allowed in certain instances, and generally must be placed in the homeowners' driveway, clear of the sidewalk and for a specifically limited period of time. Placements of dumpster's street-side of the project are only allowed by special exception.
 - Portable toilets are not allowed to be visible from the street.

- Delivery and staging of construction materials must be orchestrated to avoid having materials staged in any landscaped or visible area of the home, and will generally be limited to the driveway or back yard areas of a home.
- Display of building permits is necessary as required by the municipality.
- Equipment or vehicles related to construction activity are allowed to utilize street- side parking during hours of construction, but equipment is not allowed to be parked on any street or overnight unless an exception is granted.
- Water for use by the construction work must be provided from the homeowners' utility, not the community's common infrastructure.
- Signs are not permitted at any time (exception: posting of building permits).
- No construction burning or construction trash burying is allowed at any time with no exceptions.

Article IV. New Home Construction Guidelines

Section 4.01 Type I-A Detached Dwellings; Standard Lots

PERMITTED ENCROACHMENTS

Encroachments on the lot configuration ADB permitted as described in the diagram.

A maximum of 35% of interior program may extend into the porch zone, provided the porch extends along the remaining 65%.

Bay windows, balconies, and front steps may extend beyond the outlined boundaries.

A covered walkway may connect the house with the garage.

Special Conditions: PORCHES

Front porches are required, and must extend along a minimum of 65% of the length of the facade. Porch depth shall be between 6'-0" and 8'-0."

Porches must be raised a minimum of 24" above finished grade at the front of the house.

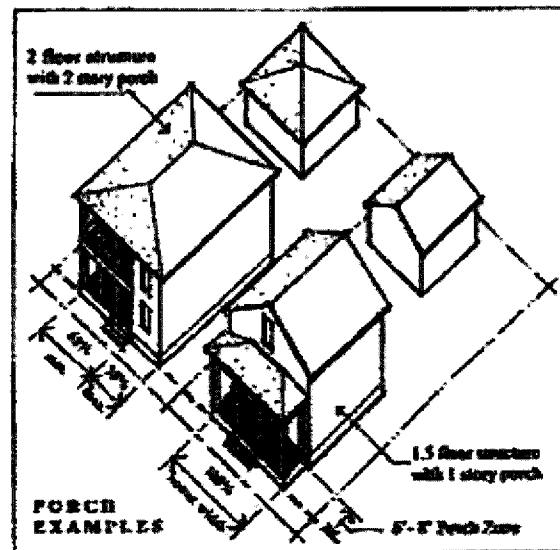
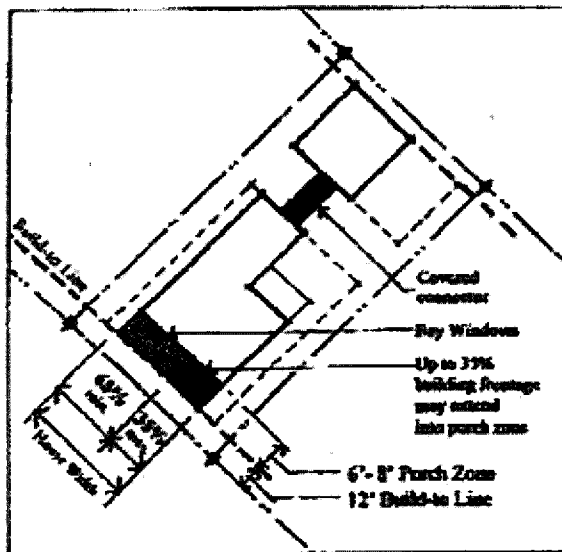
Porches may be 1 or 2 stories, and must be covered by a permanent roof or upper porch.

Two story porches must have both stories usable.

Porch detailing shall be consistent with the Design Guidelines.

Rear porches are encouraged, but unregulated.

Exceptions to these conditions may be evaluated on a case-by-case basis.



Section 4.02 Type I-B Detached Dwellings; Corner Lots

PERMITTED ENCROACHMENTS

Encroachments on the lot configuration are permitted as described in the diagram, Along the front elevation, interior program may extend into the porch zone to a maximum width of 35%, provided the porch extends along the remaining 65%.

Along the corner-side elevation, interior program may extend into the porch zone to maximum width of 70%, provided the porch covers the remaining 30%.

Bay windows, balconies, and front steps may extend beyond the outlined boundaries.

A covered walkway may connect the house with the garage.

Special Conditions: PORCHES

Front porches are required, and must extend along a minimum of 65% of the length of the facade. Porches are additionally required to wrap the COMM of the house, and return along the exposed corner-side at a minimum of 30% its length.

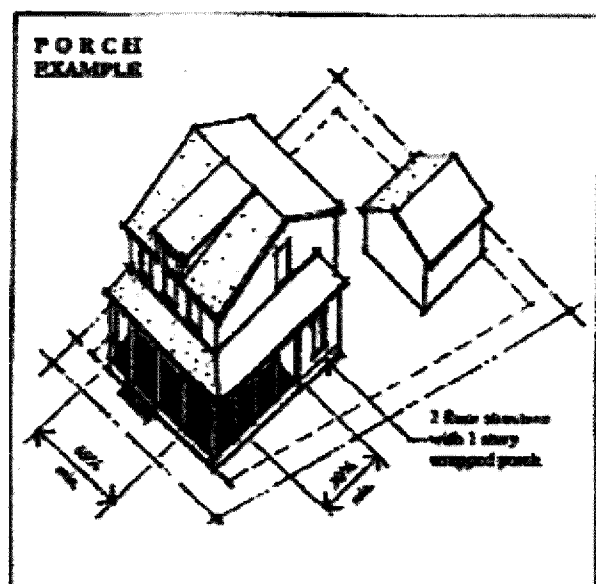
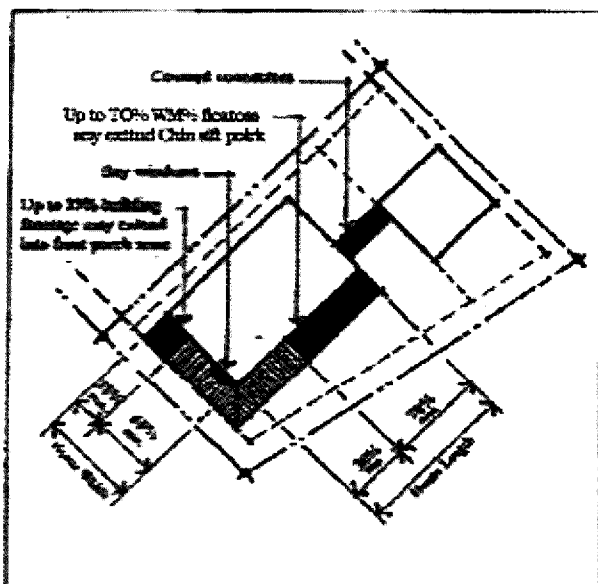
Porch depth shall be between 6'-0" and 8'-4" Porches must be raised a minimum of 24" above finished grade at the front of the house.

Porches may be 1 or 2 stories, and must be covered by a permanent roof or upper porch.

Two story porches must have both stories usable porch detailing shall be consistent with the Design Guidelines.

Rear porches are encouraged, but unregulated.

Exceptions to these conditions may be evaluated on a case-by-case basis.



Section 4.03 Type T-A Attached Dwellings; Duplexes & Triplexes

PERMITTED ENCROACHMENTS

Encroachments on the lot configuration are permitted as described in the diagram.

A maximum of 35% of interior program may extend into the porch zone, provided the porch extends along the remaining 65%.

Bay windows, balconies, and front steps may extend beyond the outlined boundaries.

A covered walkway may connect the house with the Pine.

Special Conditions: PORCHES

Front porches are required, and must extend along a minimum of 65% of the length of the facade. Both sides of a duplex shall have a symmetrical porch configuration. A triplex may have one porch type at the center unit, and symmetrical conditions at the outer units.

Porch depth shall be between 6'-0" and 8'-0."

Porches must be raised a minimum of 24" above finished grade at the front of the house.

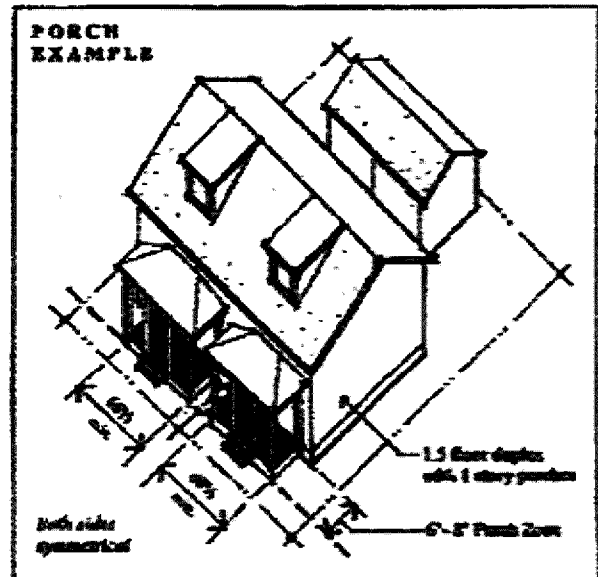
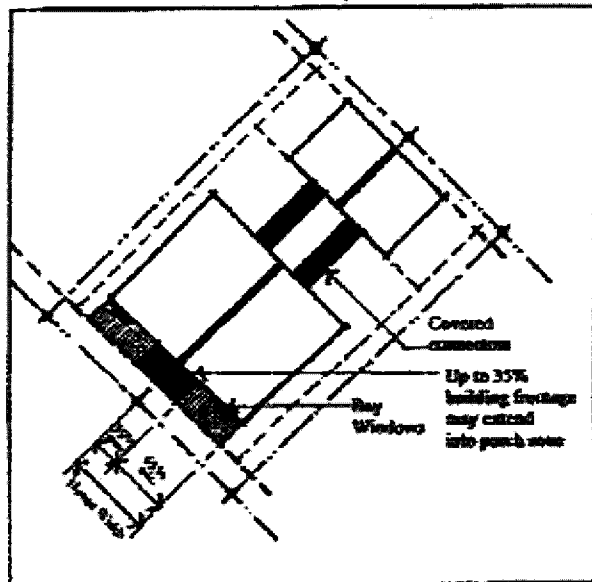
Porches may be 1 or 2 stories, and must be covered by a permanent roof or upper porch.

Two story porches must have both stories usable.

Porch detailing shall be consistent with the Design Guidelines.

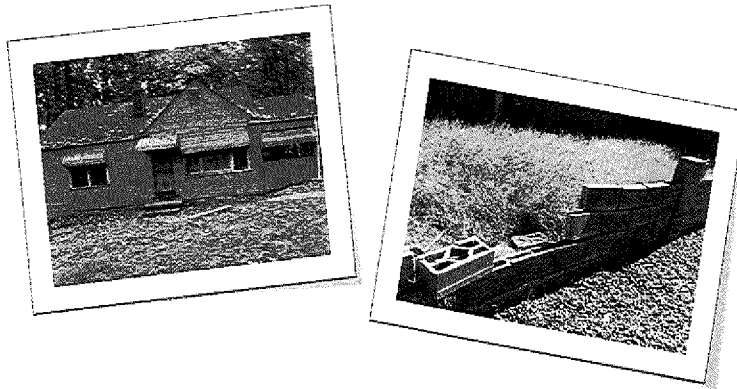
Rear porches are encouraged, but unregulated.

Exceptions to these conditions may be evaluated on a case-by-case basis.



Section 4.04 Why Have Design Guidelines

One of the benefits of living in an association is the protection of your investment by ensuring the consistency of the community through the Design Guidelines. For example, would you still receive Fair Market Value (FMV) when you sold your home or tried to refinance if your neighbors decided to paint their house pink or build a cinderblock fence?



(a) Procedure for Non-Compliance:

No one wants to receive a compliance violation notice, but unfortunately, sometimes we need a reminder, and that's all it takes. If a homeowner makes a design change to their home or lot that differs from what is included in these Design Guidelines, or makes a change without receiving proper approval (provided that the change is not egregious), the account will be assessed a \$150 violation notice for starting work without proper ADB approval.

After receiving a violation notice the homeowner must stop all work immediately and submit an ADB application. This fee will be assessed to the homeowner's account. Failure to comply will result in additional fees until the compliance issue is rectified. Failure to cooperate and pay violation fees assessed after ninety (90) days may result in collections action including the filing of a judgment and/or lien against the homeowner and their property. We strongly suggest that prior to any fines being assessed that you contact Management. In most situations, a strategy for completion can be agreed upon prior to any unnecessary fines and/or actions.